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**MONTGOMERY COUNTY  
PLANNING COMMISSION**

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SCOTT FRANCE, AICP  
EXECUTIVE DIRECTOR

July 19, 2021

Mr. Justin Keller, Borough Manager  
Pottstown Borough  
100 E. High Street  
Pottstown, PA 19464

Re: MCPC #21-0196-001  
Plan Name: Permabond LLC  
(Approximately 2.50 acres)  
Situate: 14 Robinson Street  
Pottstown Borough

Dear Mr. Keller:

We have reviewed the above-referenced land development plan in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code" as you requested on July 9, 2021. We forward this letter as a report of our review and recommendations.

## BACKGROUND

The applicant, Permabond LLC, proposes to demolish an existing shed and construct two new storage buildings, one of which will store hazardous materials. One proposed storage building has the dimensions of 32 feet by 23 feet and the height will not exceed 13 feet. The second proposed storage building is about 7.5 feet by 12 feet and the height will not exceed 12 feet. On May 4, 2021, the applicant received variances for Sections 507.6.B and 507.6.C to allow the erection of the proposed accessory storage buildings. These variances allow for the addition of the storage buildings which exceed the 200 square foot size limit and 8 foot height limit. Furthermore, the storage buildings are now permitted to be located in the east side yard, rather than the previously required rear yard. The property is located in the borough's Flex Office zoning district.

## COMPREHENSIVE PLAN COMPLIANCE

This area of Pottstown Borough is identified as Business Area in the Future Land Use Plan of the Montgomery County Comprehensive Plan, *Montco 2040: A Shared Vision*. Business Areas are concentrations of employment-oriented land uses.



The *Pottstown Metropolitan Regional Comprehensive Plan* identifies this area of Pottstown as a Regional Core. Regional cores are described as having a “traditional town character with a diverse mix of housing types and nonresidential land uses, public sewer and water, and a walkable grid road system supported by several major regional roadways and two highways.”

## RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant’s proposal. However, in the course of our review we identified the following comments that we feel should be addressed prior to moving forward with the land development. Our review comments are as follows:

## REVIEW COMMENTS

### SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

- A. Section A525. Sidewalks. Section A525 requires the implementation of sidewalks. We recommend against waiving this requirement as the Pottstown Area Rapid Transit (PART) runs its orange line along Robinson Street. The creation of a sidewalk network, over time, will enhance pedestrian safety for PART riders as well as all pedestrians in this area of Pottstown.

### HAZARDOUS MATERIALS

- A. The applicant has stated that they shall comply with all laws and regulations regarding the storage of hazardous materials. We would like to emphasize the importance such compliance and we defer to the Township Engineer to determine full compliance to ensure the safe storage of hazardous materials.

## CONCLUSION

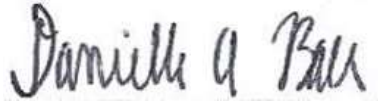
We wish to reiterate that MCPC generally supports the applicant’s proposal to expand an existing industrial facility as long as the applicant follows all laws and regulations governing the storage of hazardous materials.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files.

Please print the assigned MCPC number (#21-0196-001) on any plans submitted for final recording.

Sincerely,

A handwritten signature in black ink that reads "Danielle A. Baer". The signature is written in a cursive, flowing style.

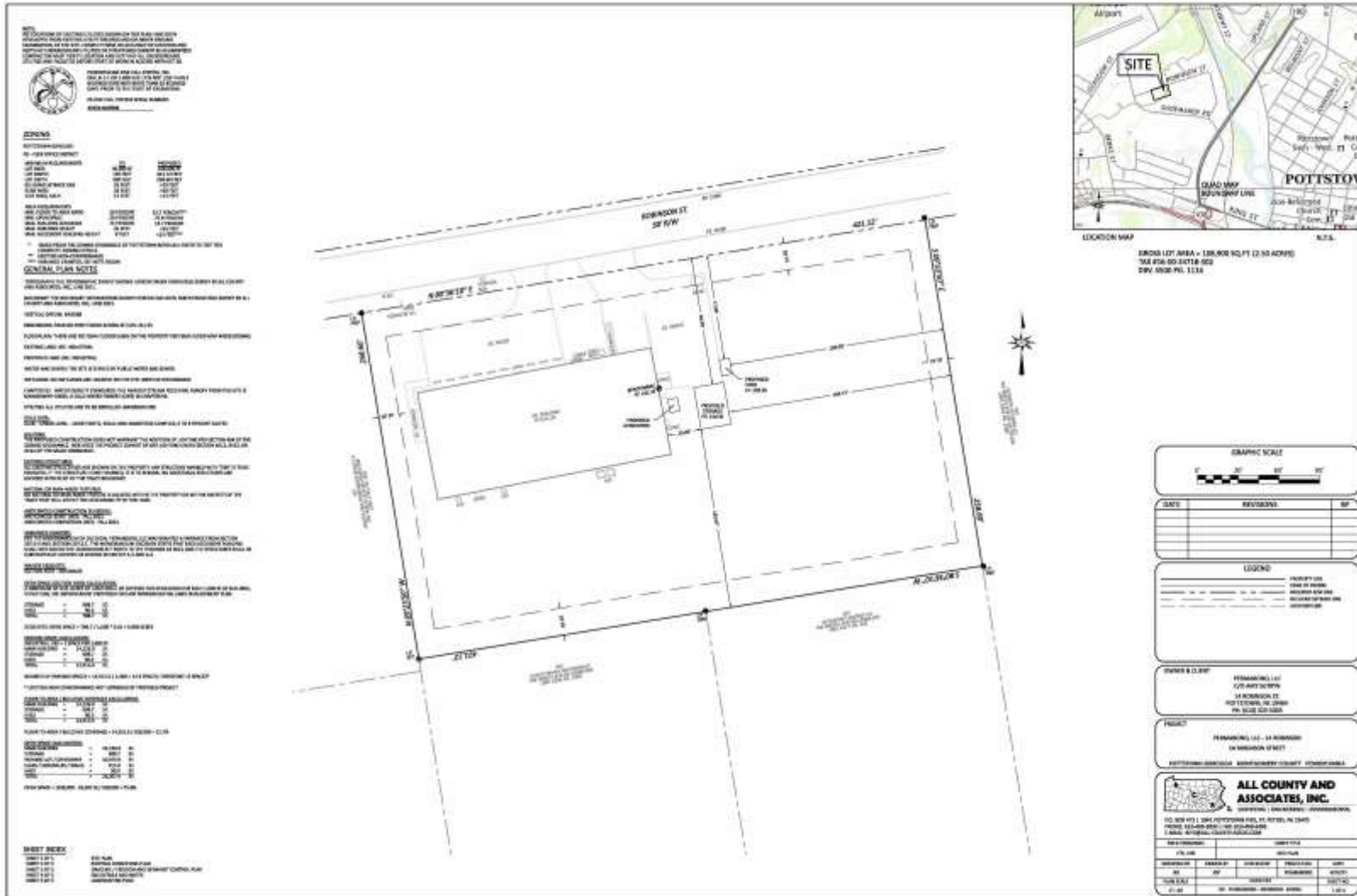
Danielle A. Baer, Community Planner

610-278-3751 – [dbaer@montcopa.org](mailto:dbaer@montcopa.org)

c: Permabond LLC c/o Amy Sutyryn, Applicant  
Jason K. Bailey, All County and Associates, Applicant's Representative  
Jim Derr, Chr., Borough Planning Commission  
Keith Place, Borough Director of Licensing and Inspection  
Charles D. Garner, Jr., Borough Solicitor

Attachment A: Reduced Copy of Applicant's Proposed Site Plan

Attachment B: Aerial Image of Site





**Permabond LLC**  
MCPC #210196001

Montgomery  
County  
Planning  
Commission

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